

# BATH TOWNSHIP BOARD OF ZONING APPEALS



April 21, 2026

- David Territo
- 2937 N. Revere Rd.
- Requesting variance from Article 7, Section 701-C, Table 701-1 to construct an accessory structure in the front yard.



*BZA 26-05*



2937 N. Revere Rd.

Motor Rd

47

Everett Rd

Everett Rd

N Revere Rd

N Revere Rd

Farmstead Rd

Farmstead Rd

Farmstead Rd

Oxbow Rd

Spring Valley Rd

Woodsmill Rd

N Revere Rd

Revere Rd

Swimming Pool



0401498

0407556

0407690

0405087

0405321

N REVERE RD

1154

1156

1156

1156

1160

1158

1156

1154

1156

1154

1156

1150

1152

1150

1146

1148

1146

1146

1148

1144

1142

1144

1142

1140

1136

1140

1138

1136

1134

1130

1132

1134

1138

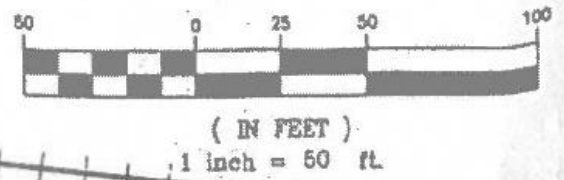
1126

1124

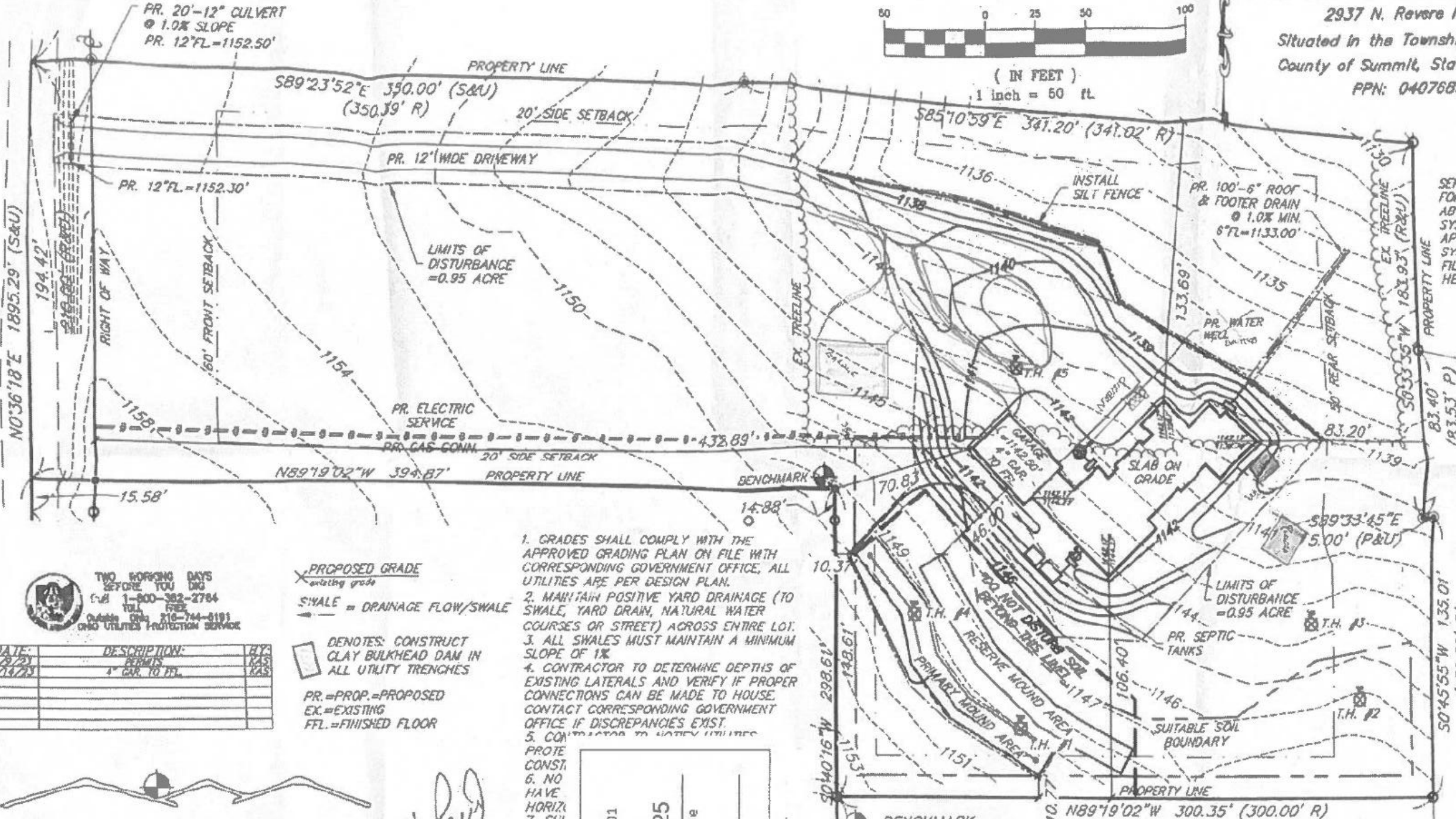
1120

1120

0402



REVERE ROAD 60'



1. GRADES SHALL COMPLY WITH THE APPROVED GRADING PLAN ON FILE WITH CORRESPONDING GOVERNMENT OFFICE, ALL UTILITIES ARE PER DESIGN PLAN.
2. MAINTAIN POSITIVE YARD DRAINAGE (TO SWALE, YARD DRAIN, NATURAL WATER COURSES OR STREET) ACROSS ENTIRE LOT.
3. ALL SWALES MUST MAINTAIN A MINIMUM SLOPE OF 1%.
4. CONTRACTOR TO DETERMINE DEPTHS OF EXISTING LATERALS AND VERIFY IF PROPER CONNECTIONS CAN BE MADE TO HOUSE. CONTACT CORRESPONDING GOVERNMENT OFFICE IF DISCREPANCIES EXIST.
5. CONTRACTOR TO VERIFY UTILITIES.
6. NO HORIZ.
7. SUA
8. LOCAL

PROPOSED GRADE  
 existing grade  
 SWALE = DRAINAGE FLOW/SWALE  
 DENOTES: CONSTRUCT CLAY BULKHEAD DAM IN ALL UTILITY TRENCHES  
 PR.=PROP.=PROPOSED  
 EX.=EXISTING  
 FFL.=FINISHED FLOOR

TWO WORKING DAYS BEFORE YOU DIG  
 CALL 1-800-382-2784  
 TOLL FREE  
 Outside Ohio 216-744-8181  
 Ohio UTILITIES PROTECTION SERVICE

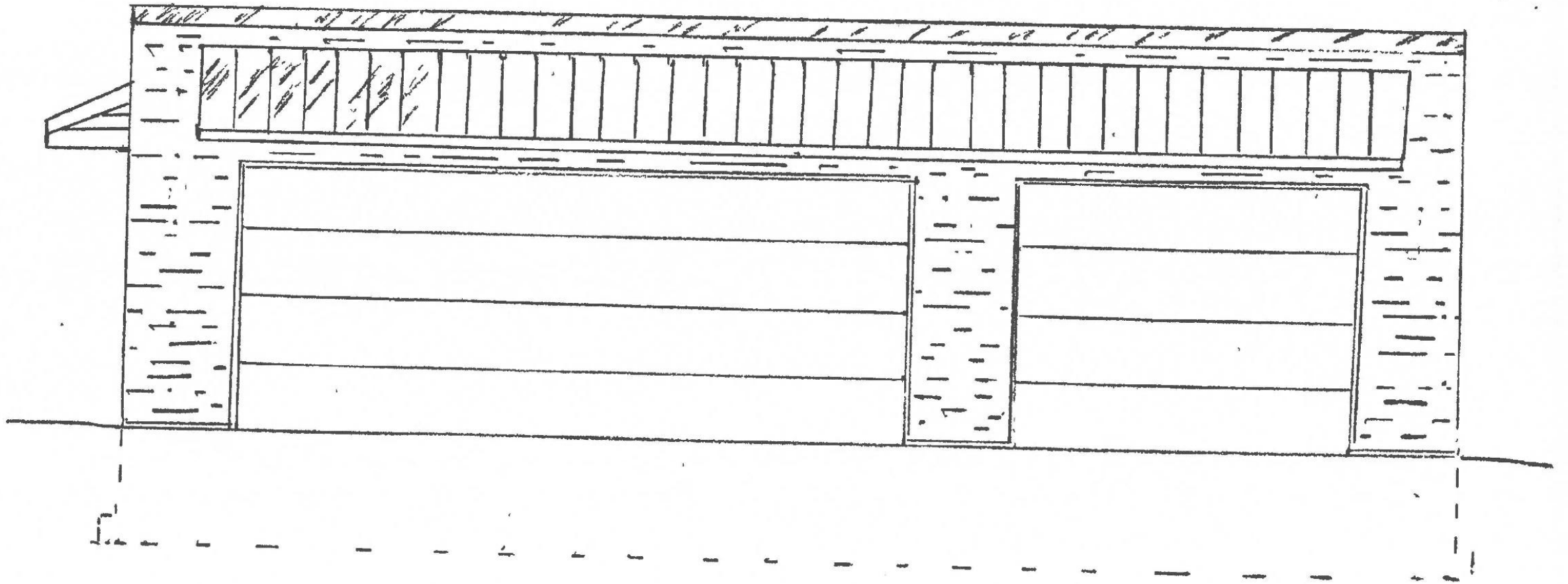
DATE:	DESCRIPTION:	BY:
8/9/21	PERMITS	KAS
6/14/23	1" BAR TO FFL	KAS



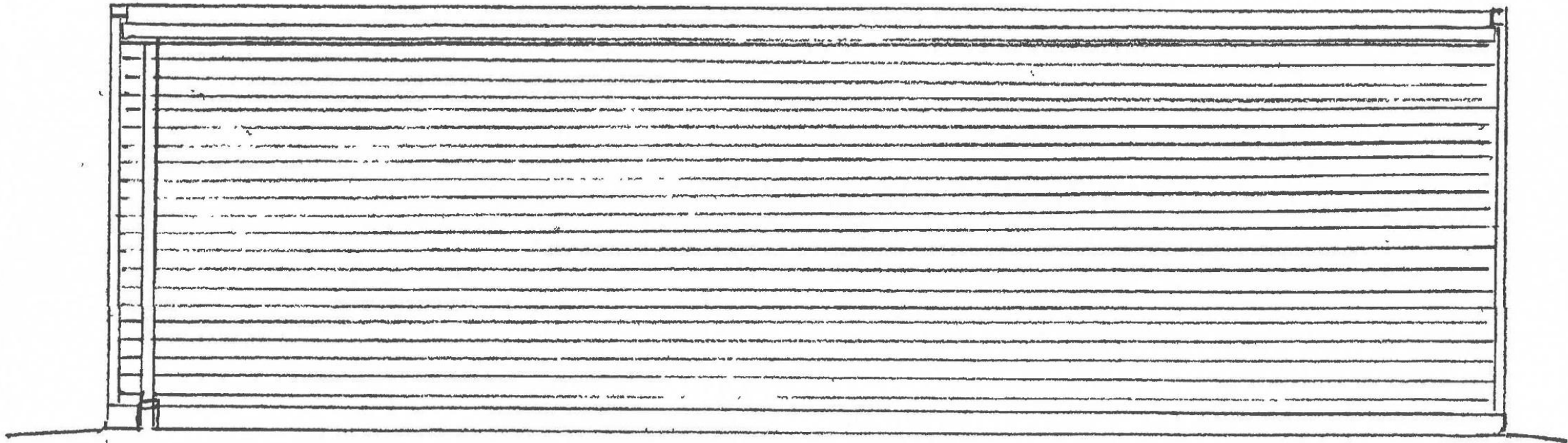
Lewis Land Professionals, Inc.

*Handwritten signature*

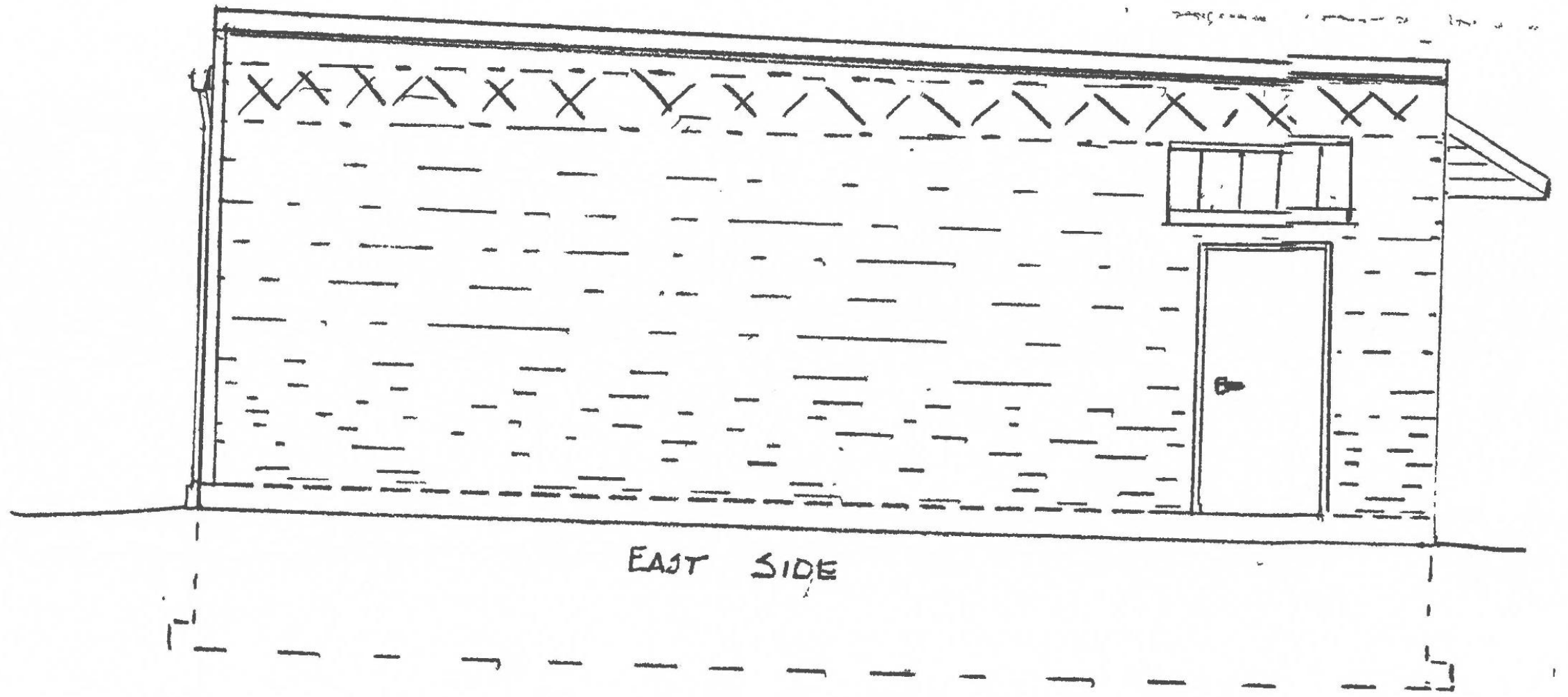
H 18901  
 025  
 DATE



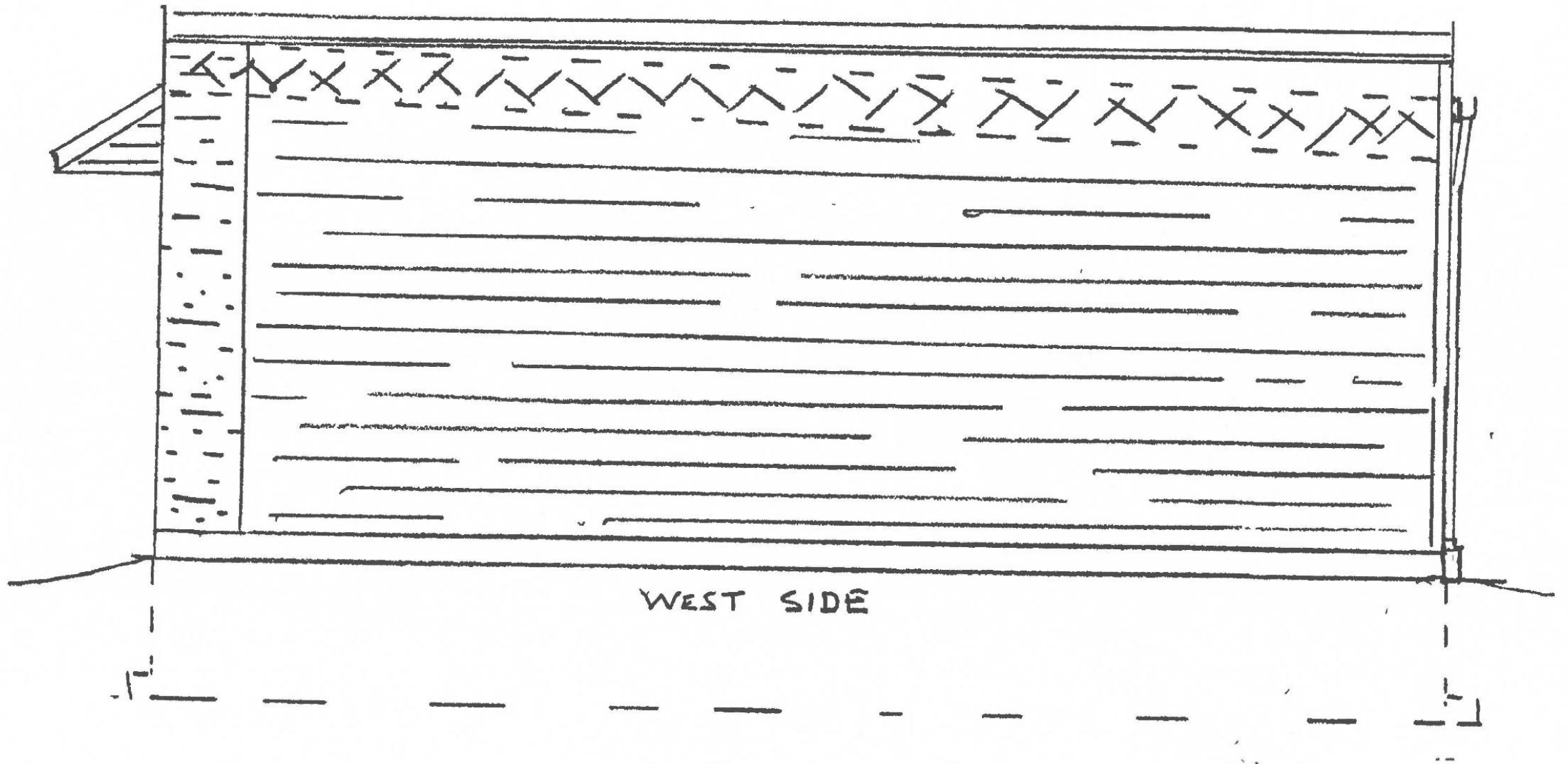
NORTH FRONT



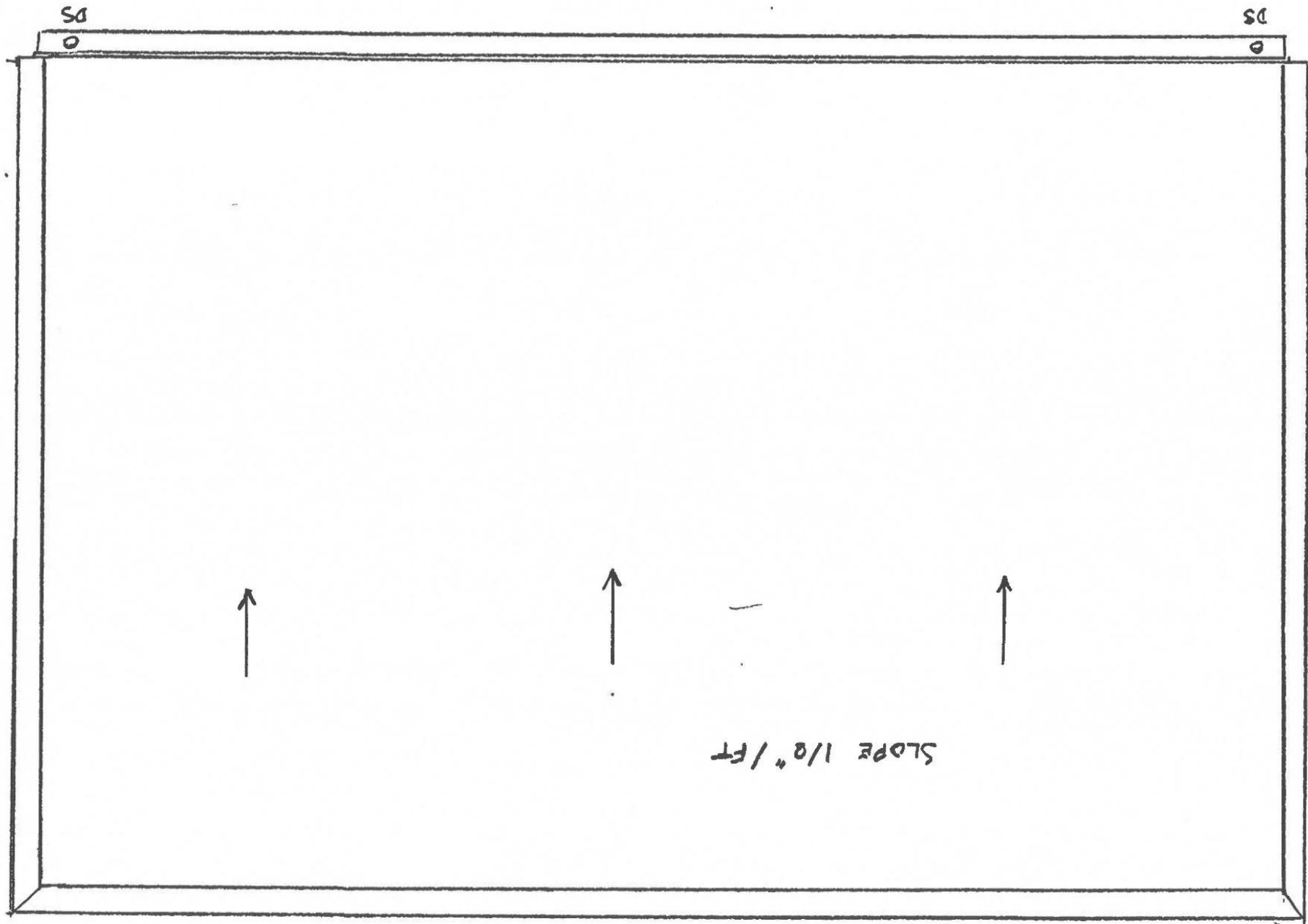
SOUTH REAR



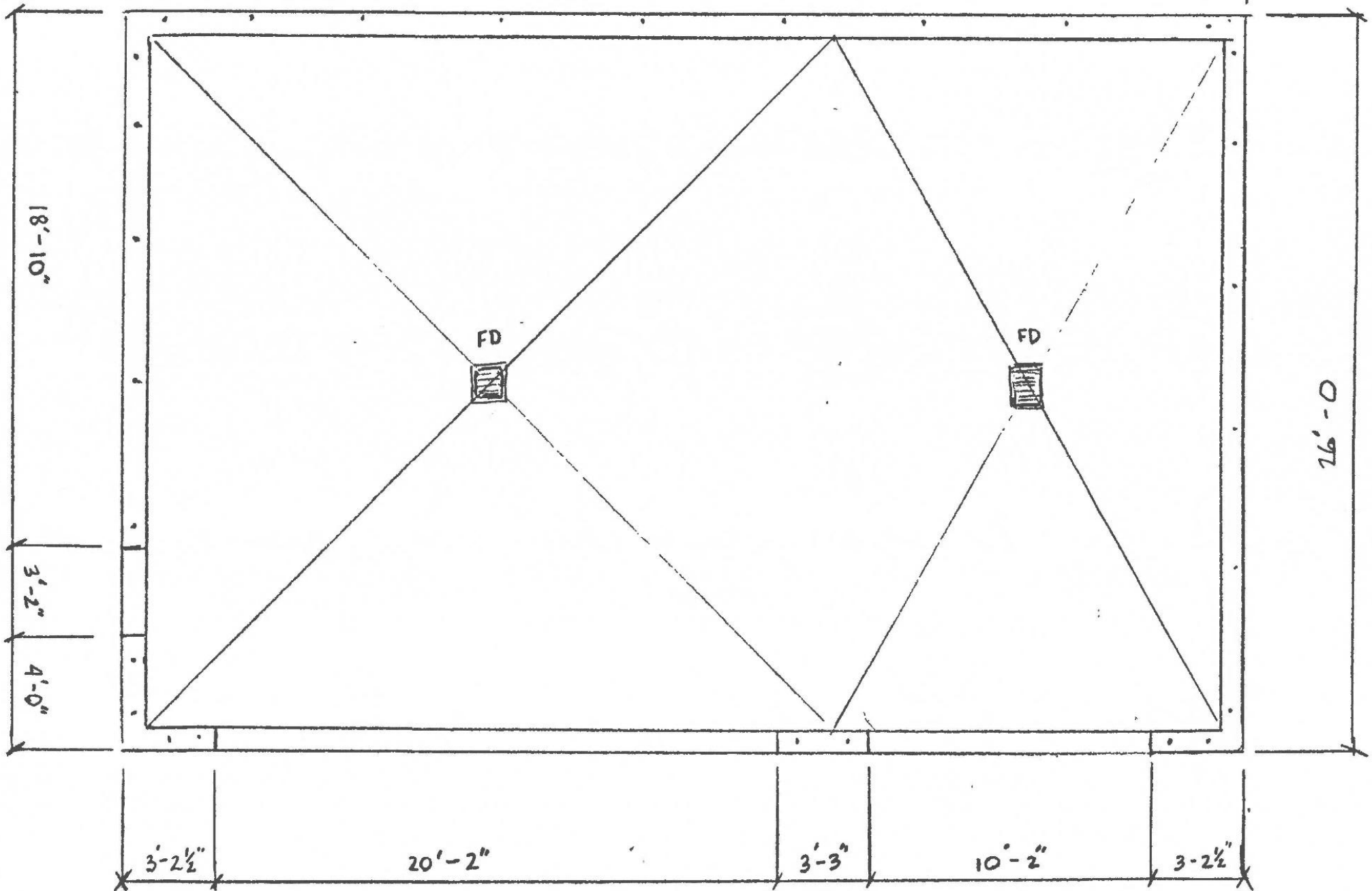
EAST SIDE



WEST SIDE



ROOF PLAN

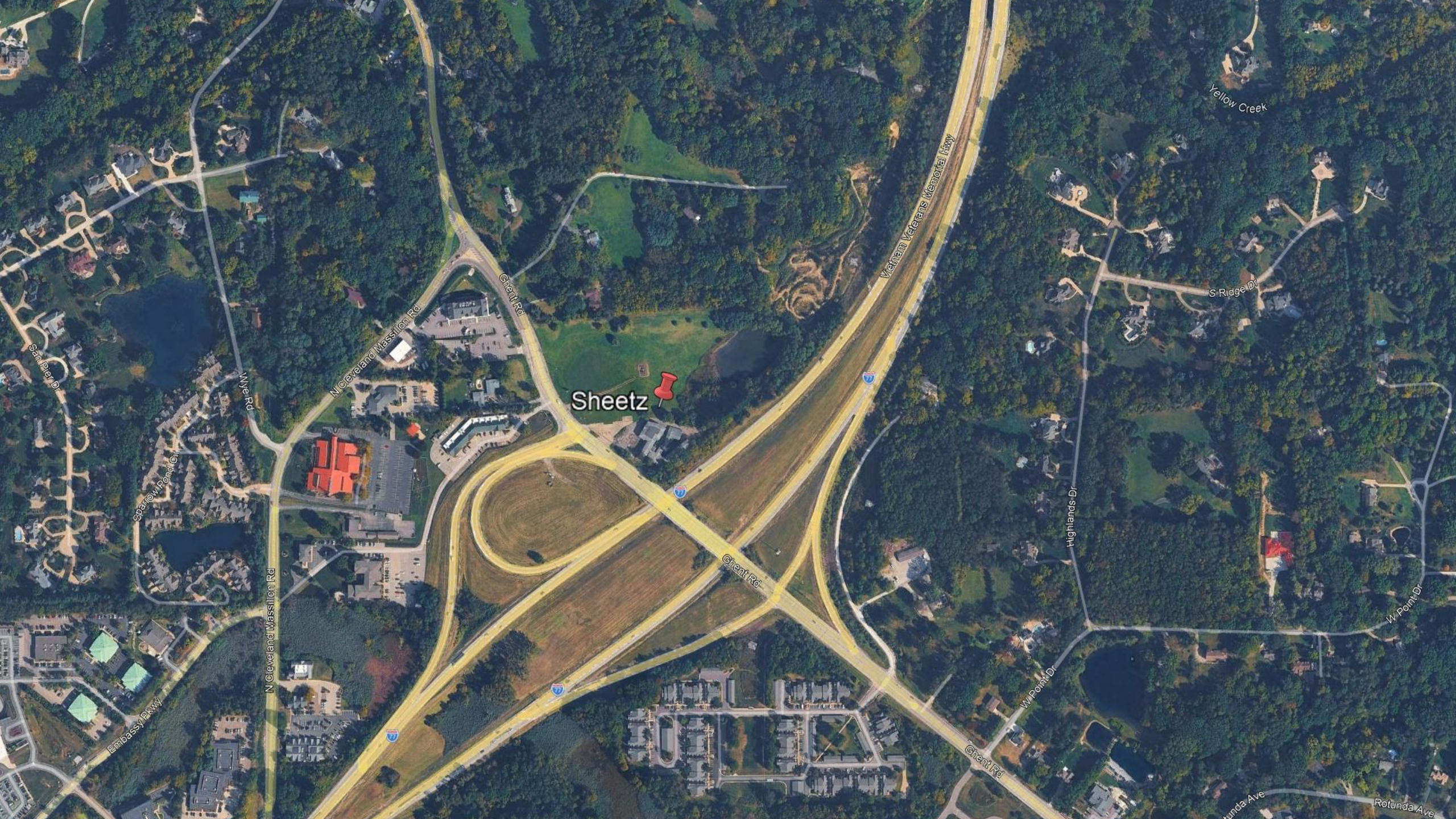


FOUNDATION PLAN

- Jeff Deeds of Visconsi Land Co.
- 981 Ghent Rd.
- Requesting conditional use approvals per Article 5, Table 502-1 for a gasoline station and Article 7, Table 701-1 for a drive-through facility; and variances from Article 5, Section 503(S)(4) to exceed the maximum permitted driveway approaches and Section 504(B)(4) to exceed the maximum permitted building footprint for a proposed Sheetz development.



*BZA 26-06*



Sheetz



Vietnam Veterans Memorial Hwy

Chent Rd

N Cleveland Massillon Rd

N Cleveland Massillon Rd

Wye Rd

Sparrow Pond Cir

Embassy Pkwy

Chent Rd

Highlands Dr

W Point Dr

Chent Rd

S Ridge Dr

Rotunda Ave

Rotunda Ave

Yellow Creek



0405566

0400040

0401023

0401022

0404943

0407551

0407234

0400325

GHENT RD TO I77 S  
I77 S TO GHENT RD

1000

0402225

1000

960

0405699

970

980

1010

940

950

0405822

0405707

0402952









www.ceso.com

1811 GHEENT ROAD, SUITE 100, AKRON, OH 44313

VISCONSI COMPANIES, LTD

C-STORE DEVELOPMENT

1811 GHEENT ROAD, SUITE 100, AKRON, OH 44313

Revisions / Submissions

#	Description	Date

Project Number: 786343  
 Scale: AS SHOWN  
 Drawn By: JSD  
 Checked By: EAB  
 Date: 03.18.2026  
 Issue: PRELIMINARY

Drawing Title: PLANTING PLAN

L1.0

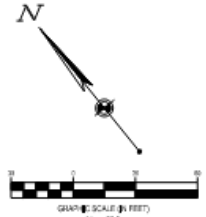
PLANT SCHEDULE

SYMBOL	QTY	BOTANICAL / COMMON NAME	SIZE	MIN HT. / SPR	SPACING
<b>TREES</b>					
	4	ACER RUBRUM OCTOBER GLORY / OCTOBER GLORY RED MAPLE	7" CAL	AS SHOWN	
	4	FRAXINUS PENNSYLVANICA GREEN ASH	7" CAL	AS SHOWN	
	4	VALEX X LOLLUM LOLLUMPORE CRABAPPLE	7" CAL	AS SHOWN	
	12	VALEX X SELECT II FLOWERING CRABAPPLE	7" CAL	AS SHOWN	
<b>SHRUBS</b>					
	3	CORNUS SERICEA RED TIGER DOGWOOD		30" HT	5'4" OC
	42	ILEX CORNUTA 'SUFFRUTICOSA' DWARF BURFORD HOLLY		30" HT	5'4" OC
	14	JUNIPERUS X PYZICERANA GOLD COAST GOLD COAST PINE		30" HT	4'4" OC
<b>GROUND COVERS</b>					
	40	DICYNALIS FORTLANK 'COLORATUS' PURPLE LEAF HYDRANGEA		1 GAL	2'4" OC
	20	HEBERCLIPALIS X STELLA DE ORO STELLA DE ORO CROCUS		1 GAL	1'4" OC
PLANT SYMBOLS INDICATED ON MATCH THROUGHOUT THE DRAWING REFLECTS THE NUMBER OF PLANTS IN THAT PARTICULAR AREA.					
	600 SF	DECORATIVE GRAVEL			

- NOTES:**
- 1. TREES SHALL BE 1/2" PLANTER OF SQUARE SPACES UNLESS OTHERWISE INDICATED.
  - 2. CONSTRUCTION SHALL BE ACCORDING TO MECHANICAL SCHEDULES.
  - 3. ALL TREES TO BE PLANTED BY 10/15/2026.
  - 4. ALL TREES TO BE PLANTED BY 10/15/2026.
  - 5. ALL TREES TO BE PLANTED BY 10/15/2026.
  - 6. ALL TREES TO BE PLANTED BY 10/15/2026.
- LANDS:**
- 1. ALL TREES TO BE PLANTED BY 10/15/2026.

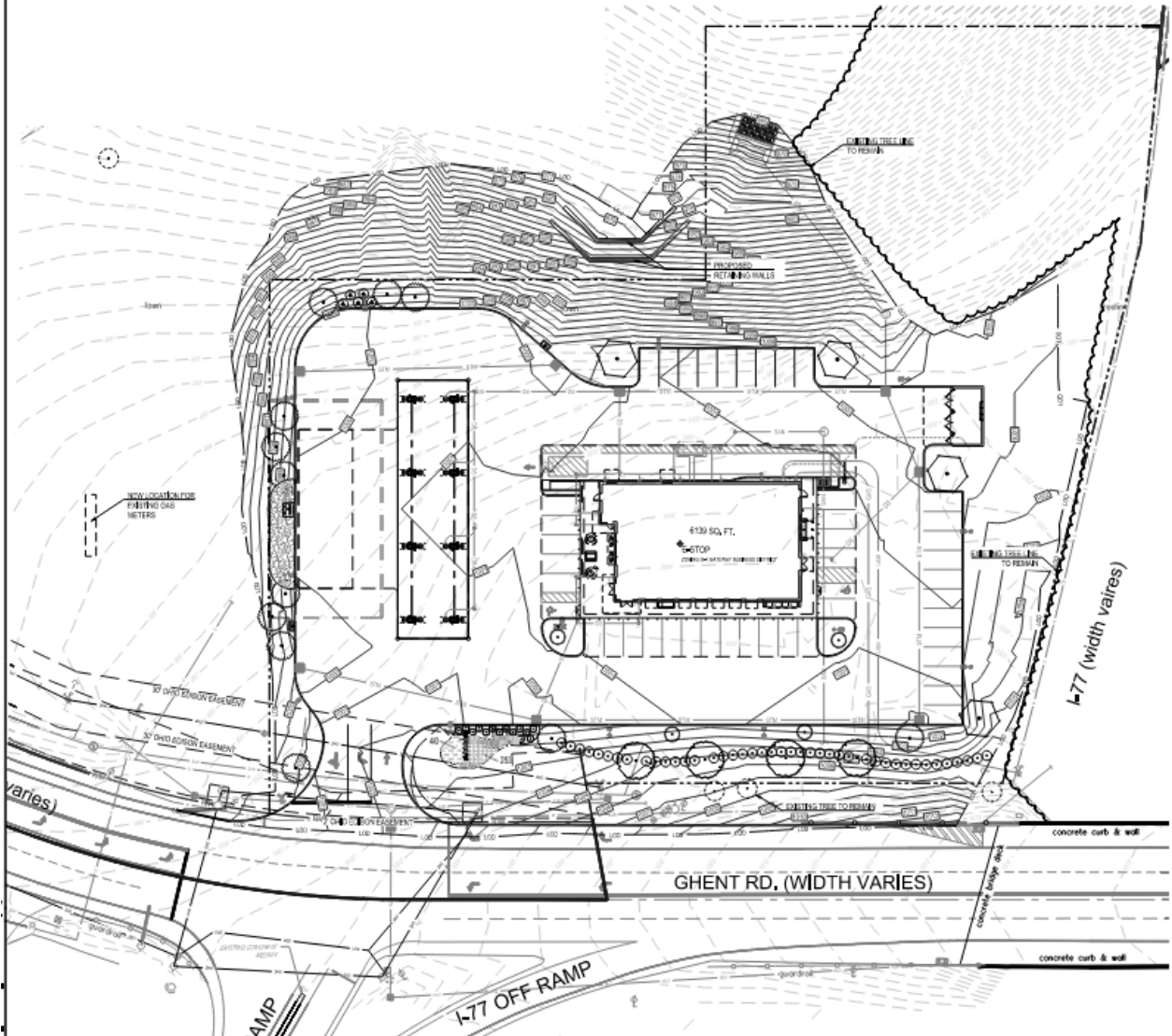
LEGEND

	RIGHT-OF-WAY		OVERHEAD POWER LINE
	PROPERTY LINE		STORM DRAIN
	BASEMENT		SANITARY SEWER
	BUILDING		WATER LINE
	CONCRETE CURB		GAS LINE
	PAVEMENT WALK		UNDERGROUND TELEPHONE LINE
	SEIN		UNDERGROUND ELECTRIC LINE
	CATCH BASIN		NO TREE CANOPY
	STORM MANHOLE		MAJOR ENGINEER CONTOUR
	SANITARY MANHOLE		MINOR ENGINEER CONTOUR
	FIRE HYDRANT		MAJOR ENGINEER CONTOUR
	LIGHT POLE		MINOR ENGINEER CONTOUR
	NO TREE TO REMAIN		SOIL
			NO OF OBSTACLES



FOR THE 24 HOURS BEFORE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES AND UTILITIES PROVIDING SERVICE AT 811 OR THROUGH THE 811 SERVICE AGENCIES IN ORDER TO OBTAIN INFORMATION REGARDING THE LOCATION AND DEPTH OF ALL UTILITIES INVOLVED IN THE PROJECT AND ARE MEMBERS OF STATE UTILITIES PROTECTION SERVICE.

**NOTE:**  
 THIS PLAN IS PRELIMINARY IN NATURE AND IS STRICTLY TO BE USED FOR ZONING REVIEW PURPOSES ONLY.



LANDSCAPE REQUIREMENTS PER BASE ZONING REQUIREMENTS

**GENERAL SITE LANDSCAPING**  
 THE SIZE OF THIS GENERAL LANDSCAPED AREA(S) SHALL NOT BE LESS THAN ONE SQUARE FOOT OF GENERAL LANDSCAPED AREA FOR EACH 100 SQUARE FEET OF GROSS FLOOR AREA OF NEW PRINCIPAL BUILDING SPACE.  
 REQ'D: 42 SF (0.139/100)  
 PROPOSED: 12,314 SF

**MINIMUM TREE COVERAGE**  
 TREE COVERAGE SHALL BE A RATIO OF 1 TREE PER 1,000 SF OF GROSS FLOOR AREA.  
 REQ'D: 7 TREES (0.150/100)  
 PROPOSED: 9 TREES

**STREETSCAPE BUFFER**  
 3' WIDE BUFFER, 1 DECIDUOUS TREE/EVERGREEN TREE AND 5 SHRUBS PER 50 LF OF STREET FRONTAGE

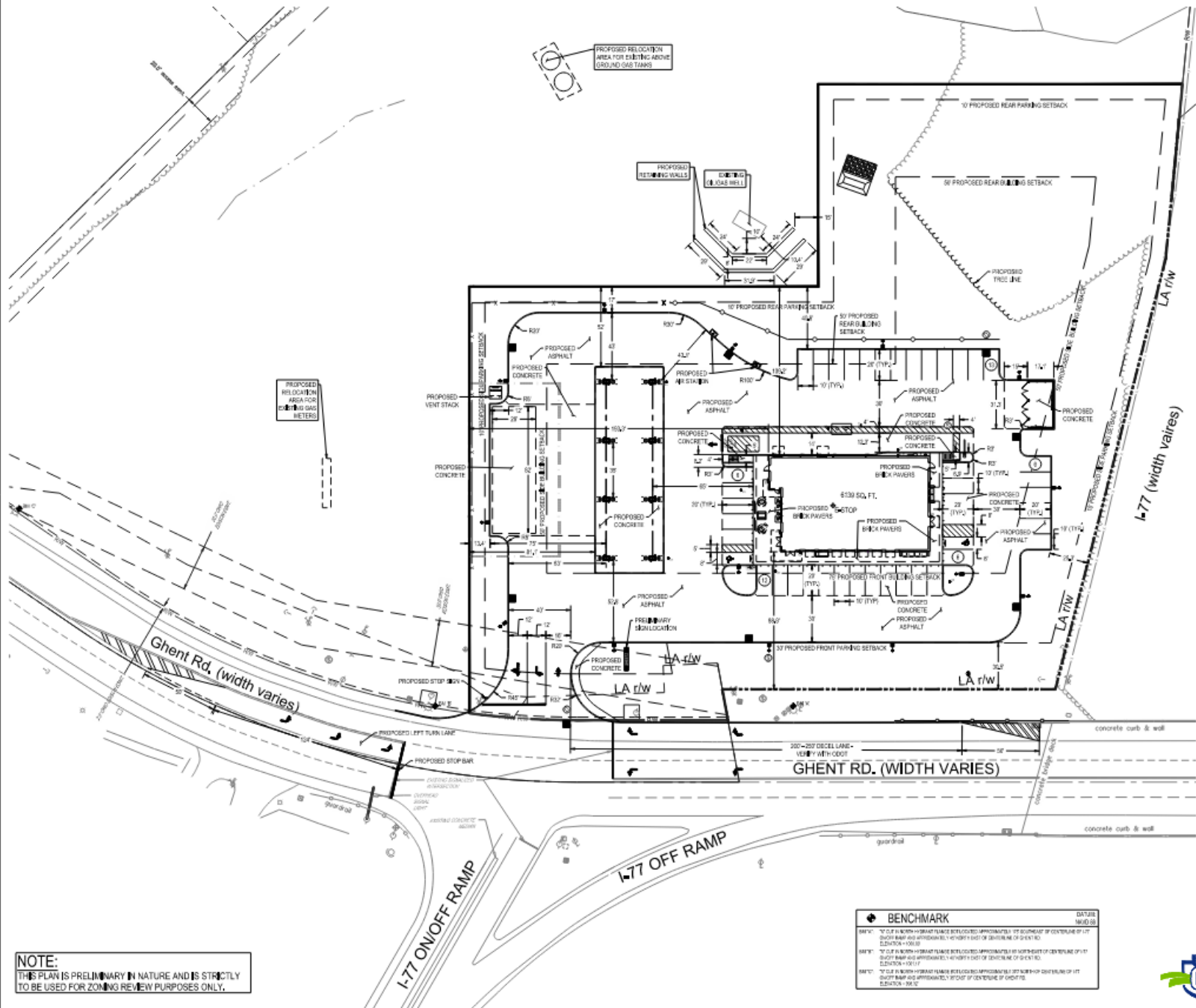
**SOUTH - GHENT RD. 402 LF**  
 REQ'D: 3 TREES, 43 SHRUBS  
 PROPOSED: 3 TREES, 43 SHRUBS

**EAST - HWY 17 400 LF**  
 REQ'D: 3 TREES, 43 SHRUBS  
 PROPOSED: 3 TREES, 43 SHRUBS

LANDSCAPING REQUIREMENTS PER BASE ZONING REQUIREMENTS

**LANDSCAPING REQUIREMENTS PER BASE ZONING REQUIREMENTS**  
 TOTAL SQUARE FOOTAGE OF LANDSCAPED AREAS SHALL BE 1% OF THE GROSS VOLUME OF THE BUILDING.  
 TOTAL SF OF AREA TO BE LANDSCAPED SHALL BE 1% OF THE GROSS VOLUME OF THE BUILDING.  
 TOTAL SF OF AREA TO BE LANDSCAPED SHALL BE 1% OF THE GROSS VOLUME OF THE BUILDING.  
 TOTAL SF OF AREA TO BE LANDSCAPED SHALL BE 1% OF THE GROSS VOLUME OF THE BUILDING.

**SCREENING OF MECHANICAL STRUCTURES**  
 SCREENING STRUCTURES WITH PLANTING IS OTHER THAN STRUCTURE WITH 1% SPACING.  
 10' MIN. HEIGHT OF SCREENING STRUCTURE.  
 10' MIN. HEIGHT OF SCREENING STRUCTURE.  
 10' MIN. HEIGHT OF SCREENING STRUCTURE.



**EXISTING LEGEND**

◆ Another Pole	⊕ Power Telephone Light Pole
⊕ Gas Meter	⊕ Power Light Pole
⊕ Catch Basin	⊕ Sanitary Manhole
⊕ Catch Basin	⊕ Sign
⊕ Downspout	⊕ Signal Pole
⊕ Deciduous Tree	⊕ Storm Manhole
⊕ Electric Pole	⊕ Communication Box
⊕ Electric Meter	⊕ Telephone Pole
⊕ Fire Hydrant	⊕ Traffic Box
⊕ Gas Meter	⊕ Water Valve
⊕ Light Pole	⊕ Water Streetlight
⊕ Tree Line	⊕ Tree Line

**SITE LEGEND**

**PROPOSED**

—	GRASSING
—	CONCRETE CURB
—	EDGE OF PAVEMENT / WALK
—	ASPHALT / CONCRETE TRANSITION
—	PARKING SPACE COUNT

**UTILITY LEGEND**

**PROPOSED**

⊕	CATCH BASIN
⊕	STORM SEWER
⊕	SEWER / SANITARY SEWER
⊕	ISLAND
⊕	DOWNSPOUT
⊕	WATER VALVE

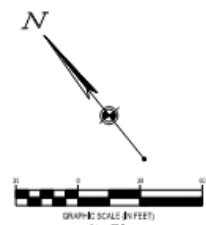
**PARKING COUNT = 43 SPACES**

**GENERAL NOTES:**

1. ALL PAVEMENT MARKINGS SHALL BE YELLOW.

**SITE COVERAGE**

PROPOSED PERVIOUS = 1.62 ACRES (51%)  
 PROPOSED IMPERVIOUS = 1.60 ACRES (49%)  
 TOTAL AREA = 3.22 ACRES



**BENCHMARK**

⊕	DATE
⊕	DESCRIPTION
⊕	1" OF A NORTH-SOUTH PLUMB LINE IS LOCATED APPROXIMATELY 15' SOUTH OF CENTERLINE OF I-77 SOUTH RAMP AND APPROXIMATELY 40' WEST OF CENTERLINE OF GHEENT RD. ELEVATION = 100.00
⊕	1" OF A NORTH-SOUTH PLUMB LINE IS LOCATED APPROXIMATELY 10' SOUTH OF CENTERLINE OF I-77 SOUTH RAMP AND APPROXIMATELY 10' WEST OF CENTERLINE OF GHEENT RD. ELEVATION = 100.11
⊕	1" OF A NORTH-SOUTH PLUMB LINE IS LOCATED APPROXIMATELY 10' SOUTH OF CENTERLINE OF I-77 SOUTH RAMP AND APPROXIMATELY 10' WEST OF CENTERLINE OF GHEENT RD. ELEVATION = 99.97

FORTY-EIGHT (48) HOURS BEFORE THE CONTRACTORS COMMENCE THE FOLLOWING PROJECTS, THE CONTRACTOR SHALL NOTIFY THE FOLLOWING AGENCIES OF THE PROJECTS: OHIO DEPARTMENT OF TRANSPORTATION AND ALL OTHER AGENCIES WHOSE JURISDICTION INVOLVES THIS PROJECT AND ARE MEMBERS OF STATE UTILITIES PROTECTION SERVICE.

**NOTE:**  
THIS PLAN IS PRELIMINARY IN NATURE AND IS STRICTLY TO BE USED FOR ZONING REVIEW PURPOSES ONLY.

**VISCONSI COMPANIES, LTD**

**C-STORE DEVELOPMENT**

8811 GHEENT ROAD  
 ABRON, OH 44333

Revisions / Submissions

Id	Description	Date

Project Number: 786343  
 Scale: AS SHOWN  
 Drawn By: MST  
 Checked By: RAP  
 Date: 03/10/2028  
 Issue: PRELIMINARY

Drawing Title:  
**SITE PLAN**

**C3.0**





www.ceso.com

1811 GHEENT ROAD, SUITE 100  
AKRON, OH 44313  
PH: 330.242.1100  
FAX: 330.242.1101

VISCONSI COMPANIES, LTD

C-STORE DEVELOPMENT  
1811 GHEENT ROAD  
AKRON, OH 44313

Revisions / Submissions

#	Description	Date

Project Number: 786343  
 Scale: AS SHOWN  
 Drawn By: JSD  
 Checked By: EAB  
 Date: 03.18.2026  
 Issue: PRELIMINARY

Drawing Title: **PLANTING PLAN**

L1.0

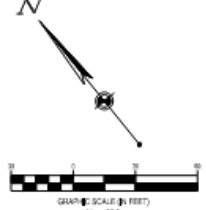
**PLANT SCHEDULE**

SYMBOL	QTY	BOTANICAL / COMMON NAME	SIZE	MIN HT. / SPR	SPACING
<b>TREES</b>					
	4	ACER RUBRUM OCTOBER GLORY OCTOBER GLORY RED MAPLE	7" CAL	AS SHOWN	
	4	FRAXINUS PENNSYLVANICA GREEN ASH	7" CAL	AS SHOWN	
	4	VALEX X LOLLIFANT LOLLIPOPE CRABAPPLE	7" CAL	AS SHOWN	
	12	VALEX X SELECT II FLOWERING CRABAPPLE	7" CAL	AS SHOWN	
<b>SHRUBS</b>					
	3	CORNUS SERICEA RED TIGER DOGWOOD	—	30' HT	5'4" OC
	42	ILEX CORNUTA 'SUFFRUTICOSA' DWARF BURFORD HOLLY	—	30' HT	5'4" OC
	14	JUNIPERUS X PYZICERANA GOLD COAST JUNIPER	—	30' HT	4'4" OC
<b>GROUND COVERS</b>					
	40	DICYNALUS FORTIANG PURPLELEAF HYDRANGEA	—	1 GAL	2'4" OC
	20	HEBERICALLIS X STELLA DE ORO STELLA DE ORO CROCUS	—	1 GAL	1'4" OC
PLANTS INDICATED ON MATCH THROUGHOUT THE DRAWING REFLECTS THE NUMBER OF PLANTS IN THAT PARTICULAR AREA.					
	600 SF	DECORATIVE GRAVEL			

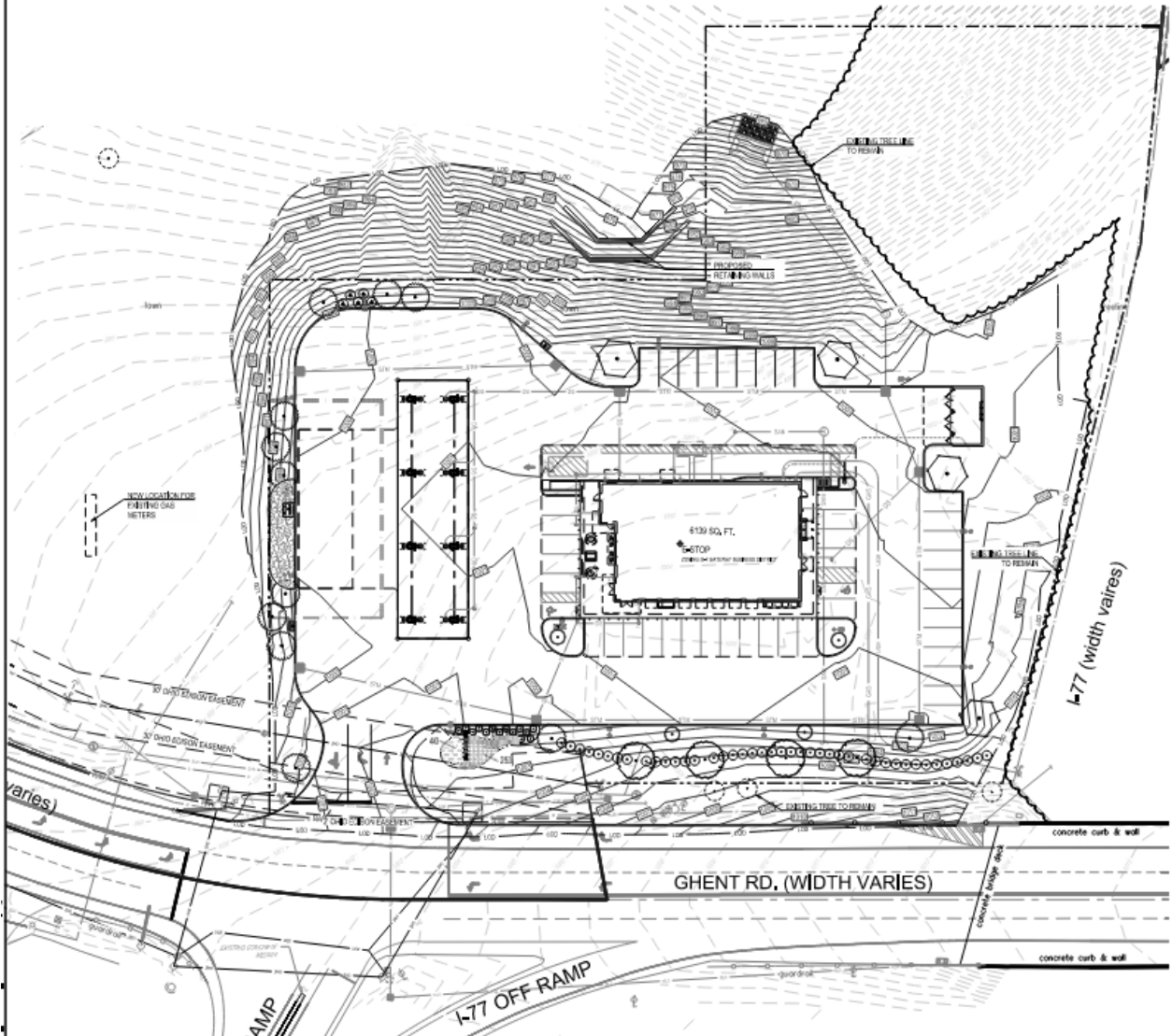
- NOTES:**
- 1. TREES SHALL BE 1" PLANTER OF SOLUBLE PESTICIDE, UNLESS OTHERWISE SPECIFIED.
  - 2. CONSTRUCTION SHALL BE ACCORDING TO MECHANICAL SCHEDULES.
  - 3. ALL TREES TO BE PLANTED BY 10/15/2026. ALL PLANTS TO BE PLANTED BY 10/15/2026.
  - 4. ALL PLANTS TO BE PLANTED BY 10/15/2026. ALL PLANTS TO BE PLANTED BY 10/15/2026.
  - 5. ALL PLANTS TO BE PLANTED BY 10/15/2026. ALL PLANTS TO BE PLANTED BY 10/15/2026.
- LANDS:**
- 1. ALL PLANTS TO BE PLANTED BY 10/15/2026. ALL PLANTS TO BE PLANTED BY 10/15/2026.

**LEGEND**

	RIGHT-OF-WAY		OVERHEAD POWER LINE
	PROPERTY LINE		STORM DRAIN
	BASINMENT		SANITARY SEWER
	BUILDING		WATER LINE
	CONCRETE CURB		GAS LINE
	PAVEMENT WALK		UNDERGROUND TELEPHONE LINE
	SEEN		UNDERGROUND ELECTRIC LINE
	CATCH BASIN		NO TREE CANOPY
	STORM MANHOLE		MAJOR ENGINEER CONTOUR
	SANITARY MANHOLE		MINOR ENGINEER CONTOUR
	FIRE HYDRANT		MAJOR ENGINEER CONTOUR
	LIGHT POLE		MINOR ENGINEER CONTOUR
	NO TREE TO REMAIN		SOIL
			LINE OF OBSTRUCTION



**NOTE:**  
 THIS PLAN IS PRELIMINARY IN NATURE AND IS STRICTLY TO BE USED FOR ZONING REVIEW PURPOSES ONLY.



**LANDSCAPE REQUIREMENTS PER BASE ZONING REQUIREMENTS**

**GENERAL SITE LANDSCAPING**  
 THE SIZE OF THIS GENERAL LANDSCAPED AREA(S) SHALL NOT BE LESS THAN ONE SQUARE FOOT OF GENERAL LANDSCAPED AREA FOR EACH 100 SQUARE FEET OF GROSS FLOOR AREA OF NEW PRINCIPAL BUILDING SPACE.  
 REQ'D: 42 SF (0.139/100)  
 PROPOSED: 12,314 SF

**MINIMUM TREE COVERAGE**  
 TREE COVERAGE SHALL BE A RATIO OF 1 TREE PER 1,000 SF OF GROSS FLOOR AREA.  
 REQ'D: 7 TREES (0.150/1000)  
 PROPOSED: 9 TREES

**STREETSCAPE BUFFER**  
 3' WIDE BUFFER, 1 DECIDUOUS TREE/EVERGREEN TREE AND 5 SHRUBS PER 50 LF OF STREET FRONTAGE

**SOUTH - GHENT RD. 402 LF**  
 REQ'D: 3 TREES, 43 SHRUBS  
 PROPOSED: 3 TREES, 43 SHRUBS

**EAST - HWY 17 400 LF**  
 REQ'D: 3 TREES, 43 SHRUBS  
 PROPOSED: 3 TREES, 43 SHRUBS

**LANDSCAPING REQUIREMENTS PER BASE ZONING REQUIREMENTS**

**LANDSCAPING REQUIREMENTS PER BASE ZONING REQUIREMENTS**  
 TOTAL SQUARE FOOTAGE OF LANDSCAPED AREAS SHALL BE 1% OF THE GROSS VOLUME OF THE BUILDING.  
 TOTAL SF OF AREA TO BE LANDSCAPED SHALL BE 1% OF THE GROSS VOLUME OF THE BUILDING.  
 TOTAL SF OF AREA TO BE LANDSCAPED SHALL BE 1% OF THE GROSS VOLUME OF THE BUILDING.  
 TOTAL SF OF AREA TO BE LANDSCAPED SHALL BE 1% OF THE GROSS VOLUME OF THE BUILDING.

**SCREENING OF MECHANICAL STRUCTURES**  
 SCREEN MECHANICAL STRUCTURES WITH PLANTS HIGHER THAN STRUCTURE WITH 75% SPACING.  
 2 YEARS OF PLANTING.  
 SCREENING OF MECHANICAL EQUIPMENT.  
 PROPOSED: 12,314 SF (0.139/1000)

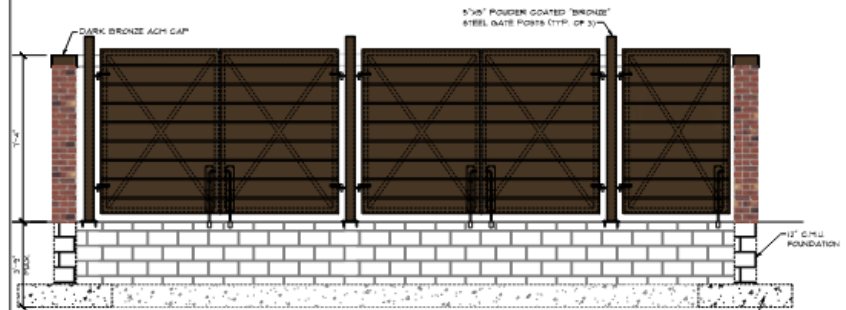




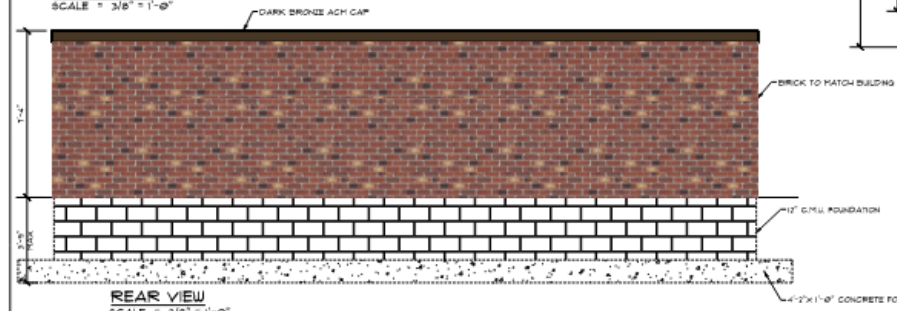


PROJECT NAME:

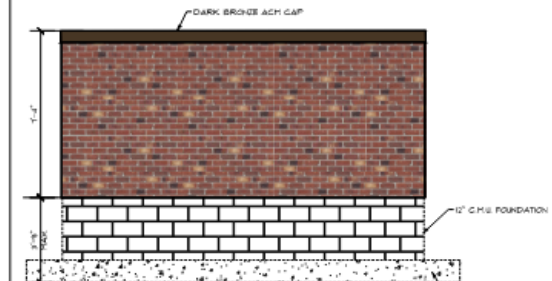
OWNER:



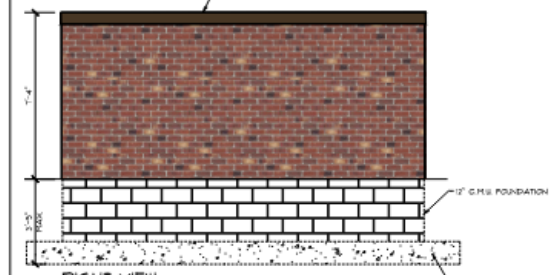
**FRONT VIEW**  
SCALE = 3/8" = 1'-0"



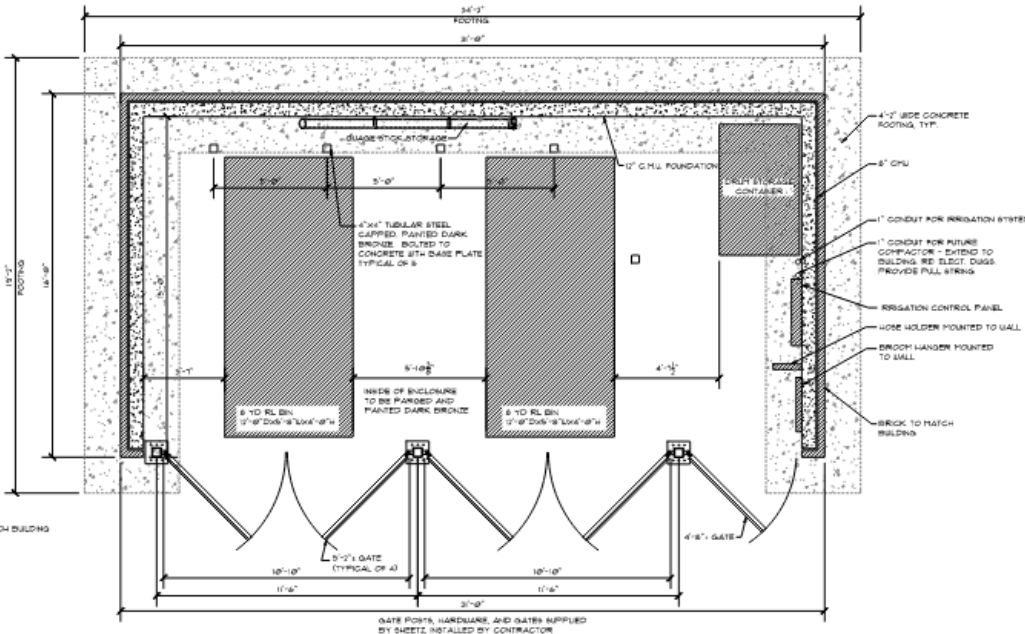
**REAR VIEW**  
SCALE = 3/8" = 1'-0"



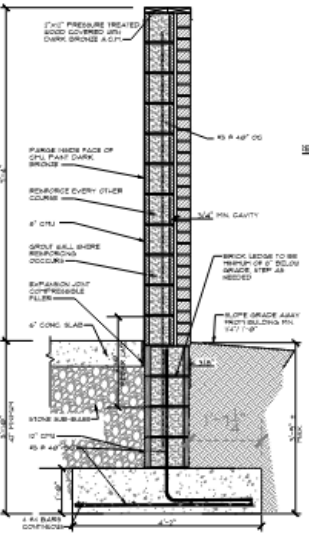
**LEFT VIEW**  
SCALE = 3/8" = 1'-0"



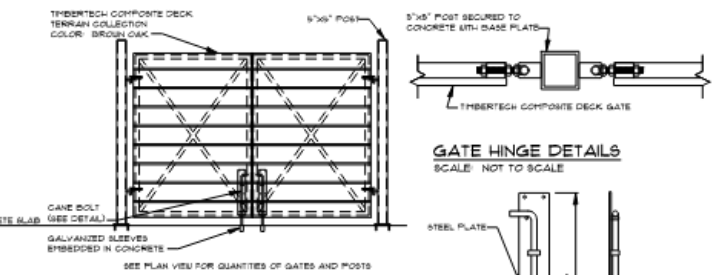
**RIGHT VIEW**  
SCALE = 3/8" = 1'-0"



**PLAN VIEW**  
SCALE = 3/8" = 1'-0"



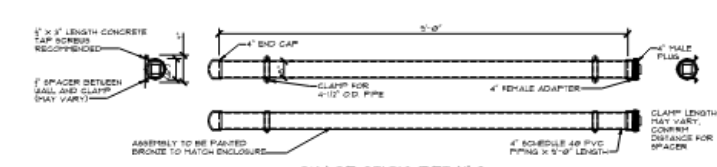
**WALL SECTION**  
SCALE 3/4" = 1'-0"



**GATE HINGE DETAILS**  
SCALE: NOT TO SCALE



**DUMPSTER GATE DETAILS**  
SCALE: NOT TO SCALE



**GAUGE STICK DETAILS**  
SCALE: 3/4" = 1'-0"

ISSUE:	07-29-25
PROJECT NO:	
AUTHOR BY:	NMI
REVIEW BY:	
SHEET TITLE:	

TRASH ENCLOSURE

## PROTOTYPE MATERIALS



(1): BRICK VENEER



(2): ANCHORED CAST STONE MASONRY



(3): CAST STONE SILL



(4): RED METAL



(5): RED ACM



(6): DARK BRONZE METAL



MOLDED PRIVACY

## BRECKENRIDGE

WITH SIMTEK™ TECHNOLOGY

The beauty of nature is reflected in four detailed woodgrain finishes that resist impact and high winds. These hefty molded panels provide a realistic wood look and are a great solution for reducing noise and adhering to strict pool codes.

4' and 8' tall vinyl fence  
Red Cedar









**GBLF3**  
GlasWerks® Luminescent  
LED Bern®

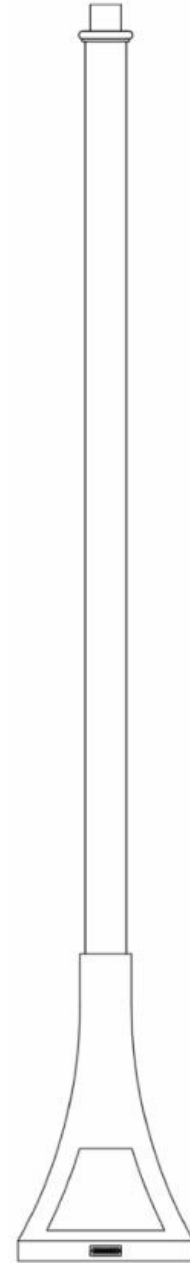


## DIMENSIONAL DATA & ORIENTATION

### Single Roadway Arm



**CVC 27IN 1A**  
((1) 27IN arm)







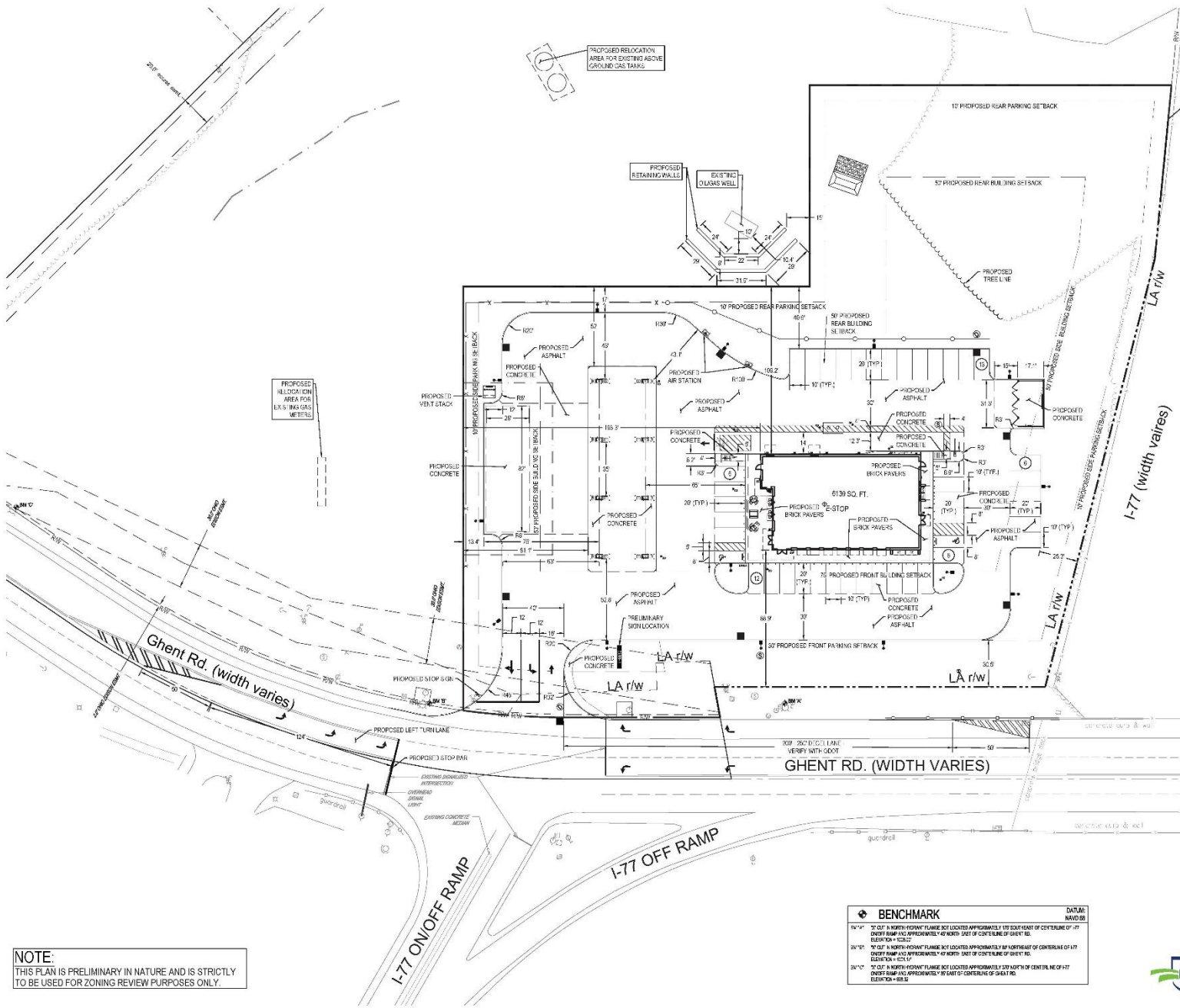








C:\02\AC\Drawings\CES\Visconsi\9811\9811.dwg, 01/11/2024, 10:00:00 AM, Project File, CES\9811\9811.dwg, 03/30/2024, Title: 9811.dwg



**NOTE:**  
THIS PLAN IS PRELIMINARY IN NATURE AND IS STRICTLY TO BE USED FOR ZONING REVIEW PURPOSES ONLY.

BENCHMARK		DATE
		NAVD 83
10+14	10' OF NORTH-HOYNT FLANGE BOX LOCATED APPROXIMATELY 10' SOUTH OF CENTERLINE OF I-77 OFF RAMP AND APPROXIMATELY 10' WEST OF CENTERLINE OF GHENT RD. ELEVATION = 102.02'	
10+15	10' OF NORTH-HOYNT FLANGE BOX LOCATED APPROXIMATELY 10' NORTHWEST OF CENTERLINE OF I-77 OFF RAMP AND APPROXIMATELY 40' WEST OF CENTERLINE OF GHENT RD. ELEVATION = 102.14'	
10+16	10' OF NORTH-HOYNT FLANGE BOX LOCATED APPROXIMATELY 10' WEST OF CENTERLINE OF I-77 OFF RAMP AND APPROXIMATELY 40' EAST OF CENTERLINE OF GHENT RD. ELEVATION = 101.52'	

- EXISTING LEGEND**
- Anchor Pole
  - Gas Wire
  - Catch Basin
  - Curb Inlet
  - Downspout
  - Deciduous Tree
  - Electric Box
  - Electric Meter
  - Fire Hydrant
  - Gas Meter
  - Light Pole
  - Power Telephone Light Pole
  - Power Light Pole
  - Sanitary Manhole
  - Sign
  - Signal Pole
  - Storm Manhole
  - Communication Box
  - Telephone Pole
  - Trash Box
  - Water Valve
  - Water Shut-off

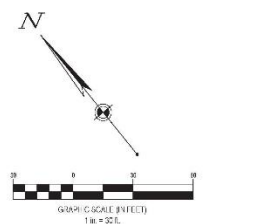
- SITE LEGEND**
- PROPOSED**
- BUILDING
  - CONCRETE CURB
  - EDGE OF PAVEMENT / WALK
  - ASPHALT / CONCRETE / TRANSITION
  - PARKING SPACE COUNT
  - SIGN

- UTILITY LEGEND**
- PROPOSED**
- CATCH BASIN
  - STORM SEWER
  - SANITARY SEWER
  - CLEANSIT
  - DOWNSPOUT
  - WATER VALVE

**GENERAL NOTES:**

- ALL PAVEMENT MARKINGS SHALL BE YELLOW.

**SITE COVERAGE**  
 PROPOSED PERVIOUS = 1.62 ACRES (51%)  
 PROPOSED IMPERVIOUS = 1.60 ACRES (49%)  
 TOTAL AREA = 3.22 ACRES



**VISCONSI COMPANIES, LTD**

**C-STORE DEVELOPMENT**

9811 GHENT ROAD  
AKRON, OH 44333

Revisions / Submissions		
ID	Description	Date

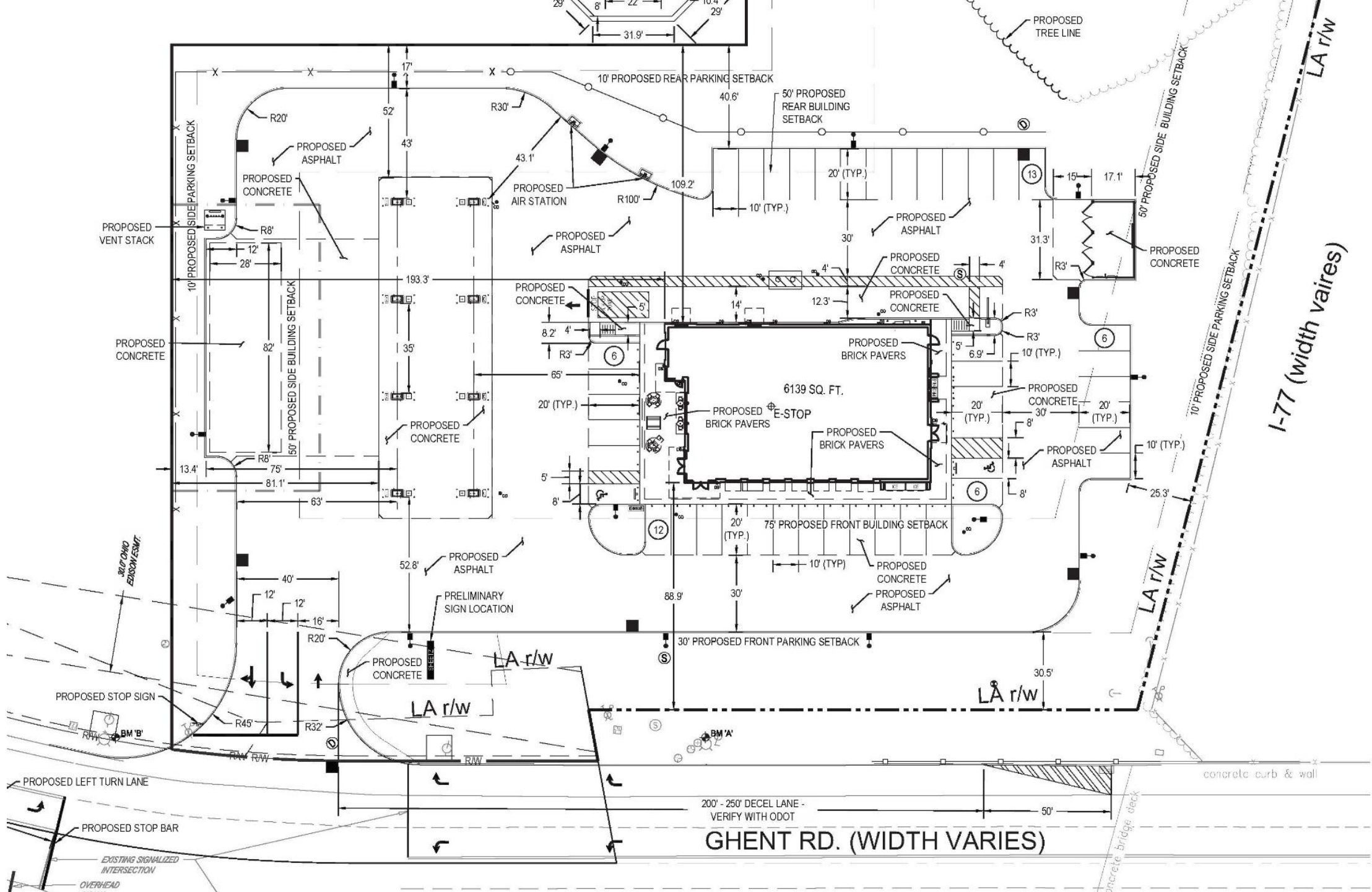
Project Number: 766343  
 Scale: AS SHOWN  
 Drawn By: MST  
 Checked By: RAP  
 Date: 03/30/2024  
 Issue: PRELIMINARY

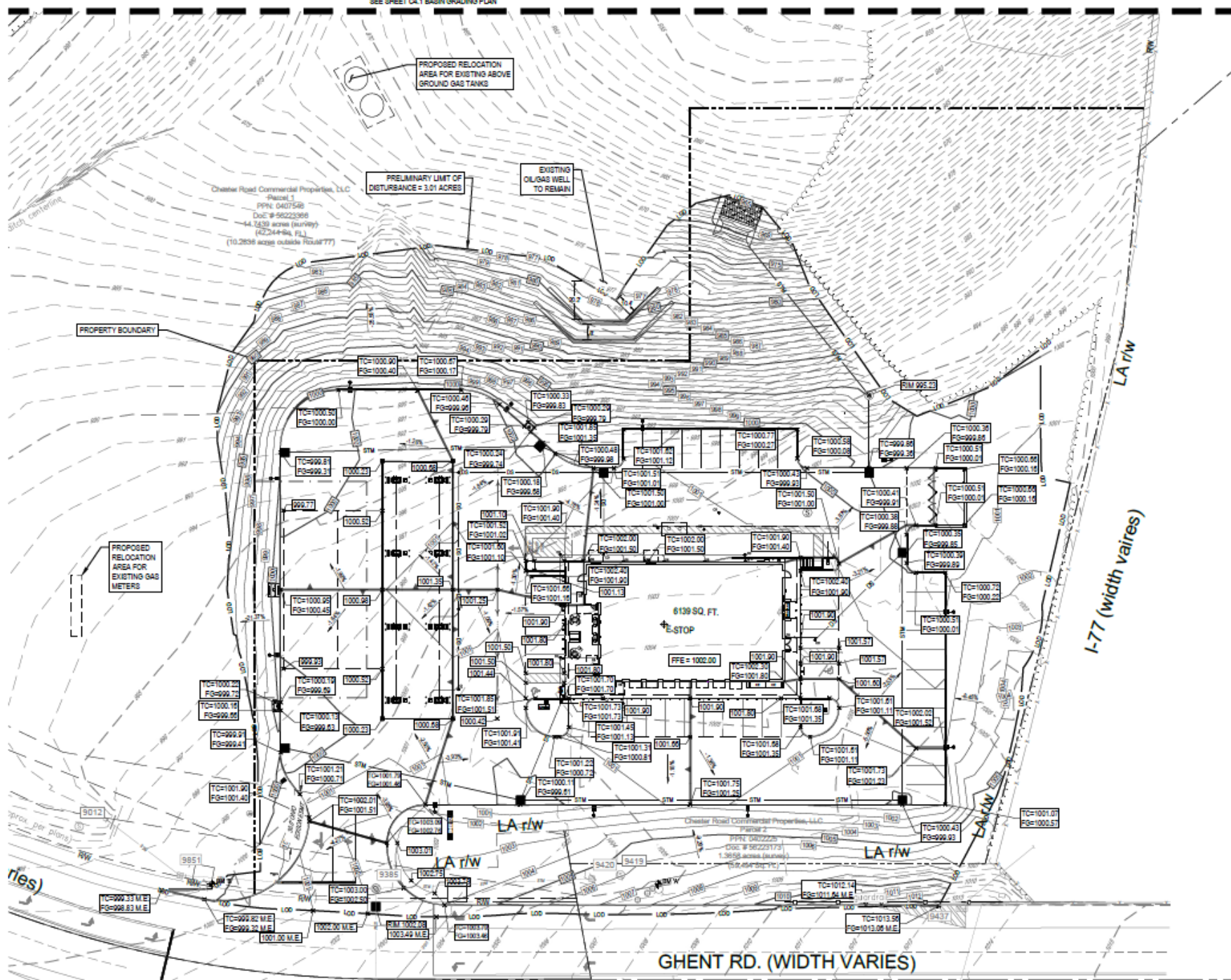
Drawing Title: **SITE PLAN**

C3.0



FOURTY-EIGHT (48) HOURS BEFORE 8:00 A.M. TO COMMENCE. THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES AND UTILITIES: PRODUCTION SUPERVISOR AT 811 OR 866-880-7874 AND ALL OTHER AGENCIES AND UTILITIES HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE MEMBERS OF STATE UTILITIES PROTECTION SERVICE





GHENT RD. (WIDTH VARIES)

I-77 (width varies)







# PROTOTYPE MATERIALS



(1): BRICK VENEER



(2): ANCHORED CAST STONE MASONRY



(3): CAST STONE SILL



(4): RED METAL



(5): RED ACM



(6): DARK BRONZE METAL





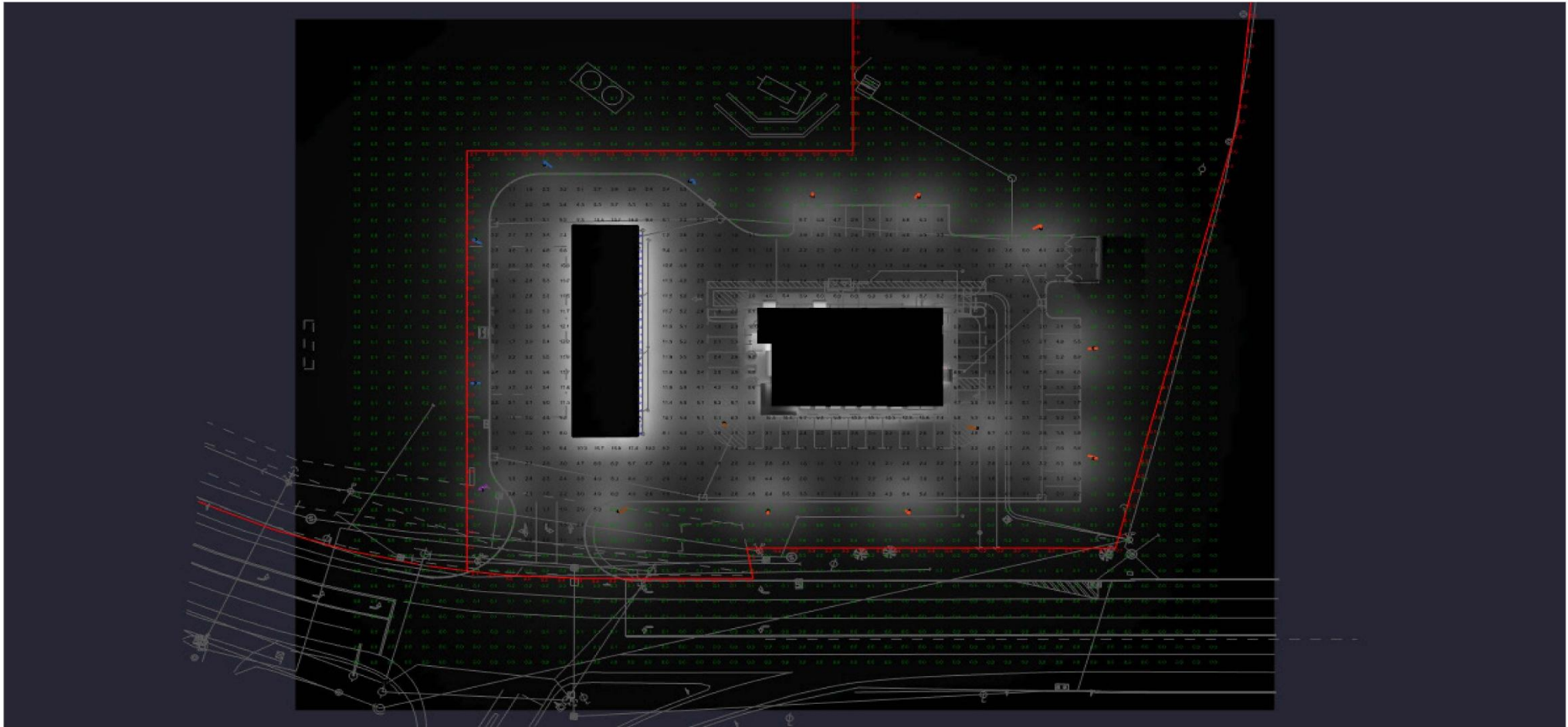


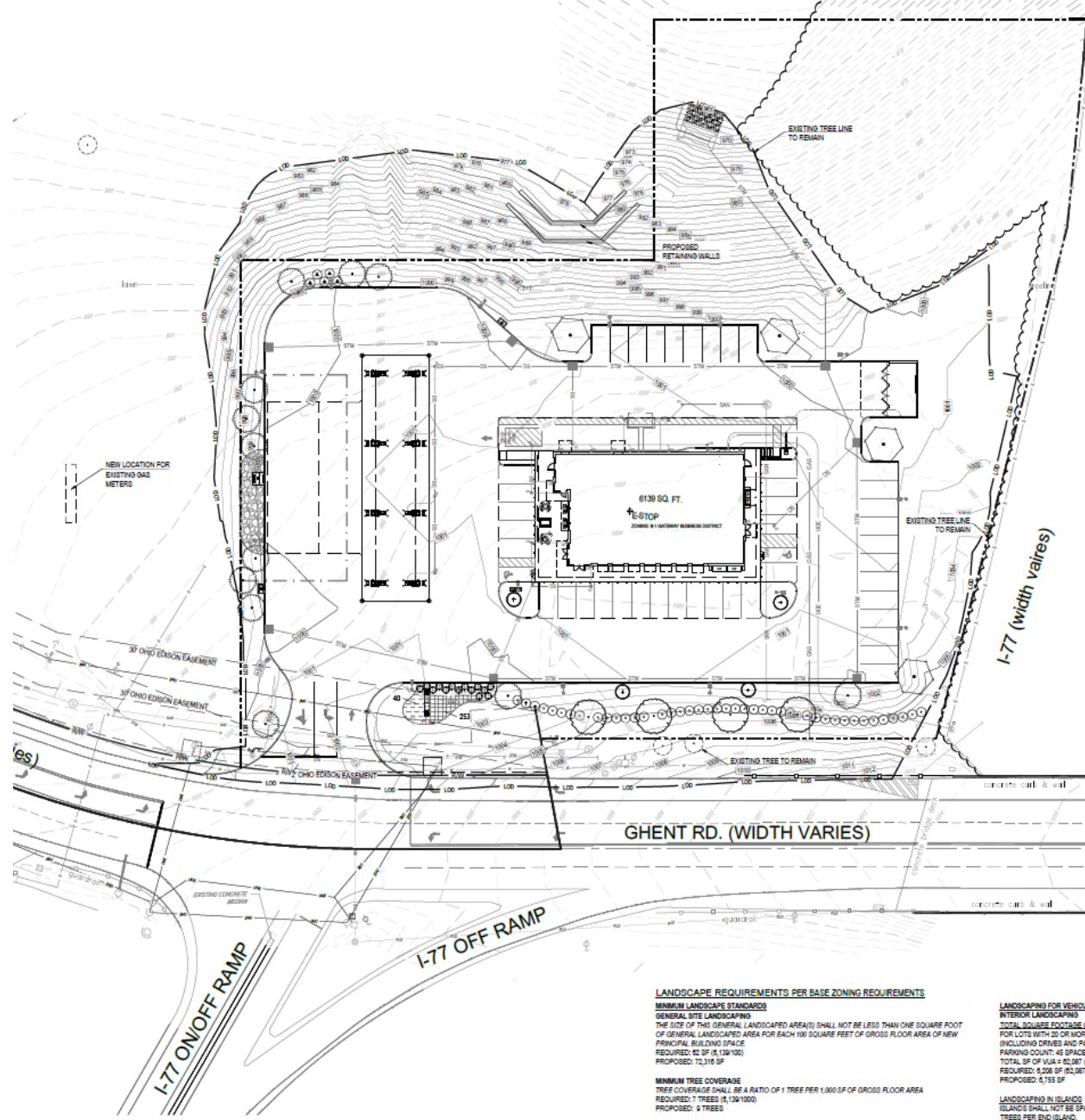












**PLANT SCHEDULE**

SYMBOL	QTY	BOTANICAL / COMMON NAME	SIZE	MIN HT / SPR	SPACING
<b>TREES</b>					
	4	ACER RUBRUM 'OCTOBER GLORY' OCTOBER GLORY RED MAPLE	7" CAL		AS SHOWN
	4	FRAXINUS PENNSYLVANICA GREEN ASH	7" CAL		AS SHOWN
	4	MALUS X 'LOLLIPOP' LOLLIPOP CRABAPPLE	7" CAL		AS SHOWN
	12	MALUS X 'SELECT A' FLOWERING CRABAPPLE	7" CAL		AS SHOWN
<b>SHRUBS</b>					
	5	CORNUS SERICEA RED TWIG DOGWOOD		30" HT	5'-0" OC
	42	ILEX CORNUTA 'BURFORDII NANI' DWARF BURFORD HOLLY		36" HT	5'-0" OC
	14	JUNIPERUS X 'PRITZERIANA 'GOLD COAST' GOLD COAST PRITZER JUNIPER		24" HT	4'-0" OC
<b>GROUND COVERS</b>					
	40	EUONYMUS FORTUNII 'COLORATUS' PURPLE-LEAF WINTERKEEPER		1 GAL	2'-0" OC
	253	HEMEROCALLIS X 'STELLA DE ORO' STELLA DE ORO DAYLILY		1 GAL	1'-0" OC
	633 SF	DECORATIVE GRAVEL			
<b>MULCH</b>					
<ul style="list-style-type: none"> <li>MULCH SHALL BE 4" TYPICAL AREA OF COLOR (BROWN, DARK BROWN, RED, OR BLACK)</li> <li>CONTRACTOR TO MAINTAIN A MINIMUM OF MULCH THROUGHOUT THE PROJECT</li> <li>ALL MULCH SHALL BE APPLIED TO THE ENTIRE PROJECT AREA</li> <li>ALL MULCH SHALL BE APPLIED TO THE ENTIRE PROJECT AREA</li> <li>ALL MULCH SHALL BE APPLIED TO THE ENTIRE PROJECT AREA</li> </ul>					
<b>LABEL</b>					
* ALL DISTURBED AREAS TO BE PLANTED WITH NATIVE OR INDIGENOUS SPECIES					

**LEGEND**

	RIGHT-OF-WAY		OVERHEAD POWER LINE
	PROPERTY LINE		STORM DRAIN
	EASEMENT		SANITARY SEWER
	BUILDING		WATER LINE
	CONCRETE CURB		GAS LINE
	PAVEMENT WALK		UNDERGROUND TELEPHONE LINE
	BION		UNDERGROUND ELECTRIC LINE
	CATCH BASIN		EXISTING TREE CANOPY
	STORM MANHOLE		MAJOR EXISTING CONTOUR
	SANITARY MANHOLE		MINOR EXISTING CONTOUR
	FIRE HYDRANT		MAJOR ENGINEERED CONTOUR
	LIGHT POLE		MINOR ENGINEERED CONTOUR
	EXISTING TREE TO REMAIN		BOD LIMIT
			LIMIT OF DISTURBANCE

**LANDSCAPE REQUIREMENTS PER BASE ZONING REQUIREMENTS**

**MINIMUM LANDSCAPE STANDARDS**  
**GENERAL SITE LANDSCAPING**  
 THE SIZE OF THE GENERAL LANDSCAPED AREA(S) SHALL NOT BE LESS THAN ONE SQUARE FOOT OF GENERAL LANDSCAPED AREA FOR EACH 100 SQUARE FEET OF GROSS FLOOR AREA OF NEW PRINCIPAL BUILDING SPACE  
 REQUIRED: 82 SF (0.125/100)  
 PROPOSED: 72,316 SF

**MINIMUM TREE COVERAGE**  
 TREE COVERAGE SHALL BE A RATIO OF 1 TREE PER 1,000 SF OF GROSS FLOOR AREA  
 REQUIRED: 7 TREES (1.125/1000)  
 PROPOSED: 9 TREES

**BUFFERS**  
**STREETSCAPE BUFFER**  
 30' WIDE BUFFER, 1 DECIDUOUS TREE/EVERGREEN TREE AND 5 SHRUBS PER 50 LF OF STREET FRONTAGE

**SOUTH - GHENT RD. 400 LF**  
 REQUIRED: 8 TREES, 40 SHRUBS  
 PROPOSED: 40 SHRUBS

**EAST - HWY I-77 400 LF**  
 REQUIRED: 8 TREES, 40 SHRUBS  
 PROPOSED: REQUIREMENT MET WITH EXISTING VEGETATION

**LANDSCAPING FOR VEHICULAR USE AREAS**  
**INTERIOR LANDSCAPING**  
 TOTAL SQUARE FOOTAGE OF INTERIOR LANDSCAPING FOR LOTS WITH 10 OR MORE SPACES, VUE LANDSCAPING NEEDS TO BE 10% OF THE GROSS VUA (INCLUDING DRIVES AND PARKING AREAS)  
 PARKING COUNT: 45 SPACES  
 TOTAL SF OF VUA: 82,307 (NOT INCLUDING BUILDING SF)  
 REQUIRED: 8,230 SF (82,307 X 10%)  
 PROPOSED: 6,755 SF

**LANDSCAPING IN ISLANDS**  
 ISLANDS SHALL NOT BE SPACED OUT MORE THAN 15 SPACES, AND MUST BE 135 SF MINIMUM. ONE TREE PER END ISLAND.  
 REQUIRED: 8 TREES  
 PROPOSED: 8 TREES (2 RELOCATED DUE TO THE DRIVE THROUGH)

**SCREENING OF SERVICE STRUCTURES**  
 SCREEN SERVICE STRUCTURES WITH PLANTINGS 1' HIGHER THAN STRUCTURE WITH 75% OPACITY WITHIN 2 YEARS OF PLANTING  
 REQUIRED: SCREENING OF MECHANICAL EQUIPMENT  
 PROPOSED: REQUIREMENT MET WITH 6" HIGH VINYL FENCE

**OHIO 811**  
 Before You Dig

FORTY-EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTOR SHALL NOTIFY THE FOLLOWING AGENCIES: OHIO UTILITIES PROTECTION SERVICE AT 811 OR 800-365-2744 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF STATE UTILITIES PROTECTION SERVICE

**NOTE:**  
 THIS PLAN IS PRELIMINARY IN NATURE AND IS STRICTLY TO BE USED FOR ZONING REVIEW PURPOSES ONLY.

**BATH TOWNSHIP  
BOARD OF  
ZONING APPEALS**

